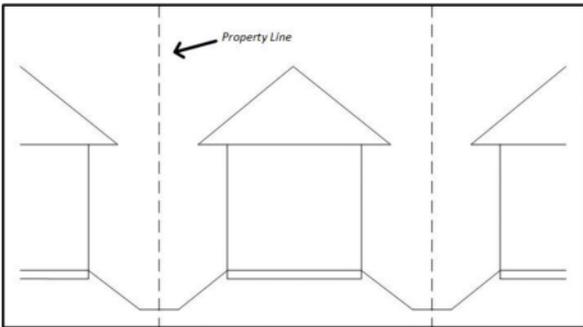


Residential Lot Grading Plan

There are three types of residential lot grading plans:

- Type 1:** Drainage on the front half of the lot is directed towards the front of the lot, and drainage on the back half is directed towards the back of the lot.
- Type 2:** All the overland drainage on the lot is directed to the street at the front of the lot.
- Type 3:** All drainage directed to the back of the lot.



The type of drainage for each lot is determined by the grading of the lot before development. Regardless of the type of grading, it is important that every lot be graded in such a way that storm water runoff flows away from the house.

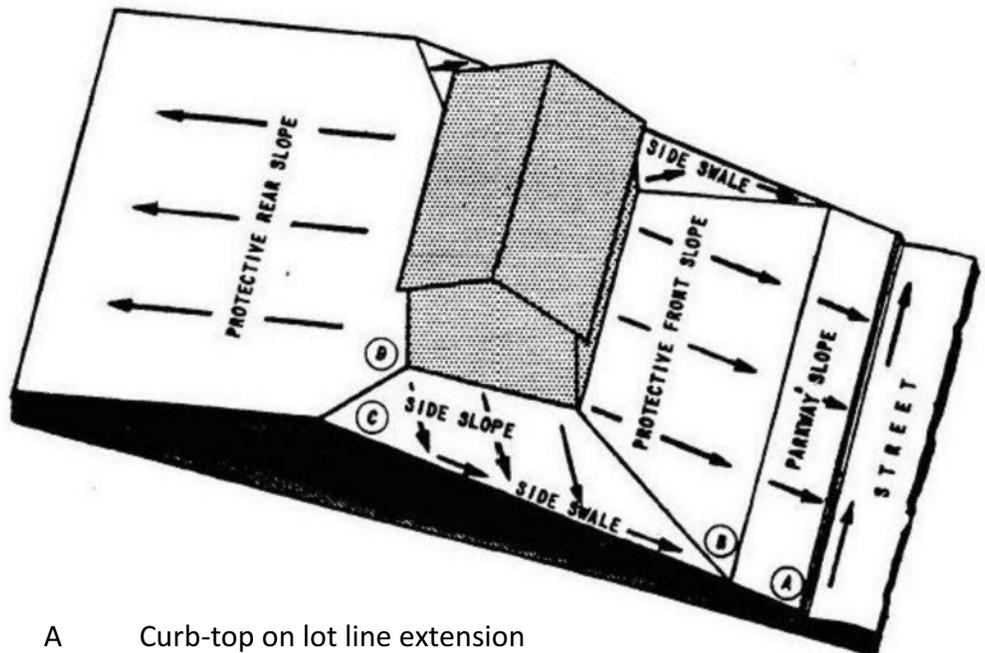
Type 1 Grading

Example of Type 1 Grading

The most common type of grading is Type 1.

A lot with this type of drainage has summit point (high point) along the side lot line forcing runoff from the backyard to a ditch or overland flow swale along the rear lot line.

Gutters/downspouts/drain pipe required to capture and convey rooftop stormwater runoff to discharge at front and back of the property.

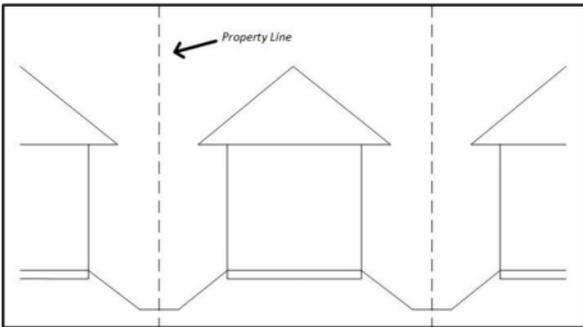


- A Curb-top on lot line extension
- A-B Parkway slope
- B-C Side swale
- C-D Protective side slope at extension of rear wall

Residential Lot Grading Plan

There are three types of residential lot grading plans:

- Type 1:** Drainage on the front half of the lot is directed towards the front of the lot, and drainage on the back half is directed towards the back of the lot.
- Type 2:** All the overland drainage on the lot is directed to the street at the front of the lot.
- Type 3:** All drainage directed to the back of the lot.

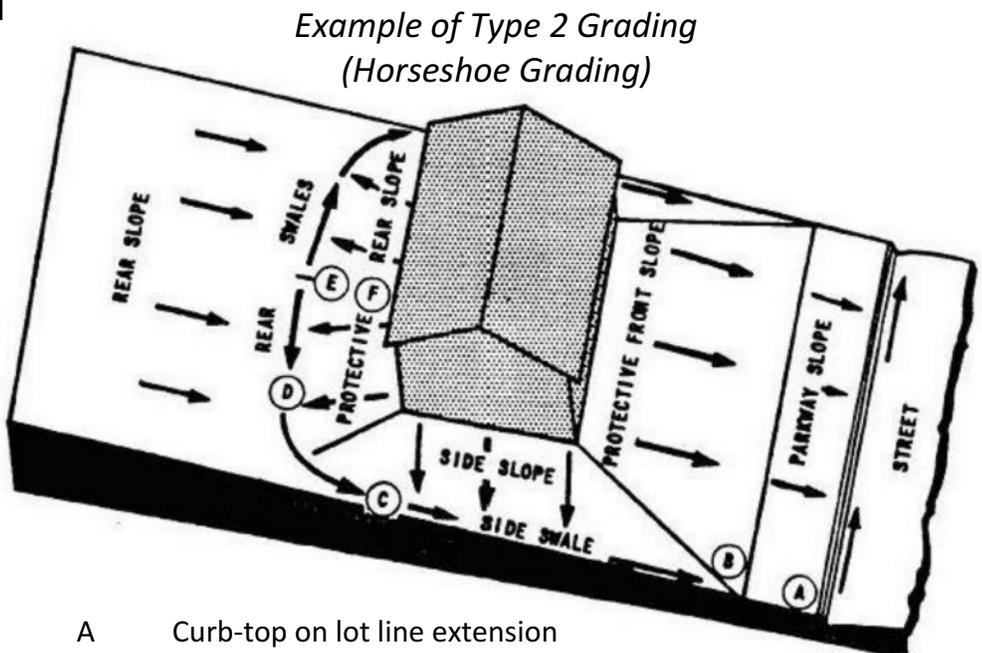


The type of drainage for each lot is determined by the grading of the lot before development. Regardless of the type of grading, it is important that every lot be graded in such a way that storm water runoff flows away from the house.

Type 2 Grading

This type of lot grading directs all the over land drainage from the lot to the street at the front lot.

This type of grading is utilized when the elevation of the ground at the rear lot line is significantly higher than the elevation of the street. This type of grading results in a low point at the center of the rear yard to direct runoff away from the house.



*Example of Type 2 Grading
(Horseshoe Grading)*

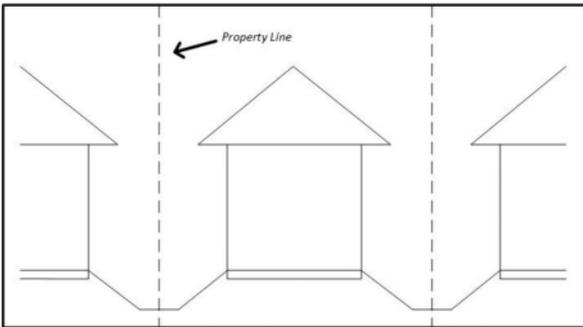
Gutters/downspouts/drain pipe required to capture and convey rooftop stormwater runoff to discharge at front of property.

- A Curb-top on lot line extension
- A-B Parkway slope
- B-C Side yard swale
- C-D Swale turn
- D-E Rear swale
- E-F Protective rear slope up from high point of swales

Residential Lot Grading Plan

There are three types of residential lot grading plans:

- Type 1:** Drainage on the front half of the lot is directed towards the front of the lot, and drainage on the back half is directed towards the back of the lot.
- Type 2:** All the overland drainage on the lot is directed to the street at the front of the lot.
- Type 3:** All drainage directed to the back of the lot.



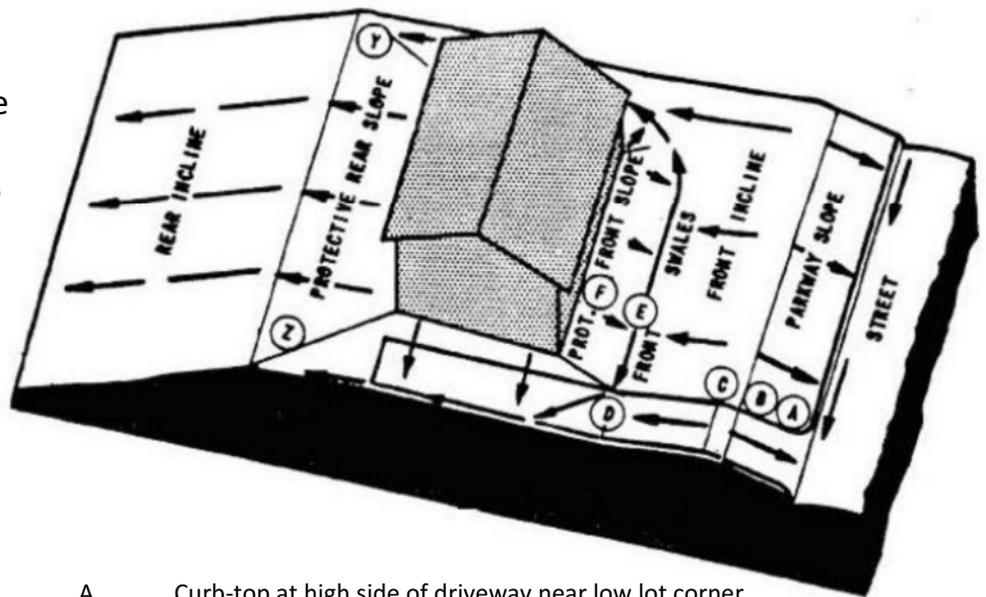
The type of drainage for each lot is determined by the grading of the lot before development. Regardless of the type of grading, it is important that every lot be graded in such a way that storm water runoff flows away from the house.

Type 3 Grading

This type of lot grading directs all the over land drainage from the lot to the back of the lot.

Example of Type 3 Grading

Type 3 drainage is similar to Type 1 drainage, except that the summit point is at the top of the curb rather than midway down the side lot line. This grading is used when the elevation of the ground at the rear lot line is considerably lower than the elevation of the street.



Gutters/downspouts/drain pipe required to capture and convey rooftop stormwater runoff to discharge at back of property.

- A Curb-top at high side of driveway near low lot corner
- A-B Parkway slope
- B Driveway grade change
- C-D Driveway downgrade point out from in front of building
- D-E Front swale
- E-F Protective front slope from highpoint of swales